

COLLEGE HILL HIGH SCHOOL -
PUBLIC IMPROVEMENTS

CITY OF CORVALLIS PIPC # PIP-2021-1754

CORVALLIS
Authorized Plans
for Construction
of Public Improvements
07/14/2022 manley
Development Review Engineering
Separate Permit Required

REGISTERED PROFESSIONAL
ENGINEER
56483PE
CORVALLIS, OREGON
STEPHEN C. P. HAYTOR
EXPIRES: 06/30/2023

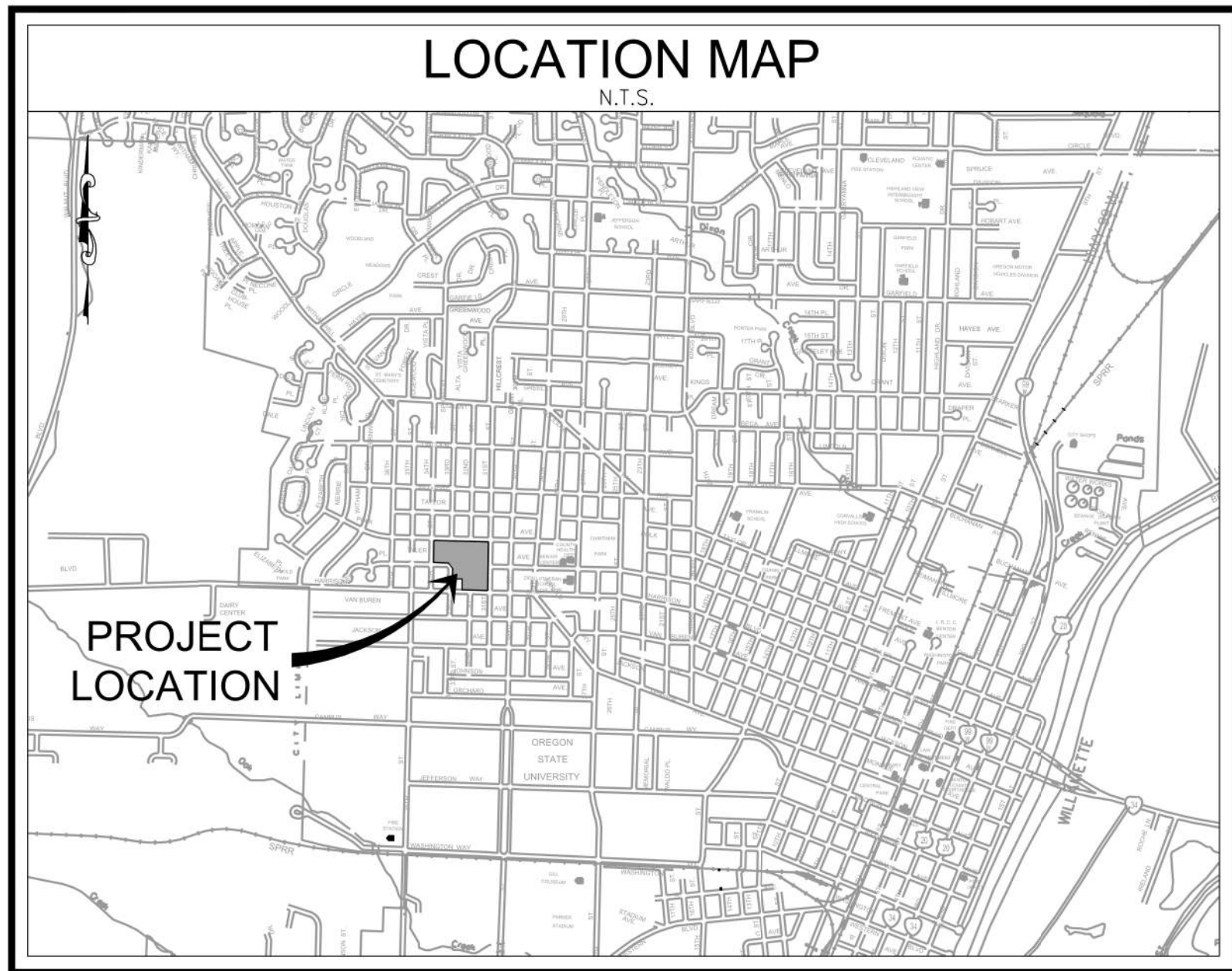
DRAWING STATUS:	No.	REVISION:	DATE:
<input type="checkbox"/> PRELIMINARY	1	CITY REVIEW	03/02/22
<input checked="" type="checkbox"/> SUBMITTED	2	CITY REVIEW	05/06/22
<input type="checkbox"/> BID SET	3	CITY REVIEW	06/06/22
<input type="checkbox"/> PERMIT SET	4		
<input type="checkbox"/> CONST. SET	5		

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Oregon
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CORVALLIS, OR 97339
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PROJECT:
COLLEGE HILL HIGH SCHOOL -
PUBLIC IMPROVEMENTS
PROJECT LOCATION:
CORVALLIS, OR
CLIENT:
PIVOT ARCHITECTURE

SHEET TITLE:
COVERSHEET

JOB NO. 19415
DRAWN BY: DEVCO
DRAWING:
C310



INDEX TO DRAWINGS	
C310	COVERSHEET
C311	NW 33RD ST. PUBLIC STORM DRAIN AND SIDEWALK PLAN
C312	NW 31ST ST. PUBLIC STORM DRAIN AND SIDEWALK PLAN
C313	NW HARRISON BLVD. AND NW POLK AVE. SIDEWALK PLAN
C314	ACCESSIBLE RAMP AND COMMERCIAL APPROACH ENLARGED PLAN
C315	ACCESSIBLE RAMP AND COMMERCIAL APPROACH ENLARGED PLAN
STND1	CITY OF CORVALLIS STANDARD DETAILS
STND2	CITY OF CORVALLIS STANDARD DETAILS

GENERAL NOTES:

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT APPLICABLE CITY OF CORVALLIS STANDARD CONSTRUCTION SPECIFICATIONS AND DETAILS.
- LOCATION AND PROTECTION OF EXISTING UTILITIES
 - EXISTING UTILITIES LOCATED WITHIN THE PROJECT AREA ARE SHOWN AS ACCURATELY AND COMPLETELY AS POSSIBLE. HOWEVER, THE CONTRACTOR SHALL EXPECT THAT THE RECORDS FROM WHICH THE EXISTING UTILITY DRAWINGS WERE PREPARED ARE NOT COMPLETE.
 - VERIFY THE LOCATIONS OF ALL UTILITIES AND PROTECT THESE UTILITIES. ANY UTILITIES SHOWN ON THE DRAWINGS OR LOCATED IN THE FIELD THAT THE CONTRACTOR DISRUPTS OR DAMAGES SHALL BE PROMPTLY REPAIRED TO NEW CONDITION. IF REQUIRED, INSTALL SUITABLE TEMPORARY SERVICE UNTIL REPAIR CAN BE EFFECTED. THE COST OF THE REPAIR OR TEMPORARY SERVICE SHALL BE BORNE BY THE CONTRACTOR.
 - NOTIFY THE OWNER OF ALL UTILITIES EXPOSED. UNIDENTIFIED UTILITIES SHALL NOT BE DISRUPTED OR CUT UNTIL THE OWNER HAS APPROVED THE CUT.
 - ATTENTION: OREGON LAW REQUIRES CONTRACTORS TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES SET FORTH IN OAR 952-001-0010 THROUGH 952-001-0090, CONTRACTORS MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER (NOTE: THE TELEPHONE NUMBER FOR OREGON UTILITY NOTIFICATION CENTER IS (503) 323-1987). THE ONE CALL NUMBER IS 1-(800)-332-2344.
- TEMPORARY PROTECTION AND DIRECTION OF VEHICLE, BICYCLE, AND PEDESTRIAN TRAFFIC SHALL BE IN ACCORDANCE WITH AN APPROVED PERMIT TO OCCUPY THE PUBLIC RIGHT OF WAY, SUBMITTED UNDER SEPERATE COVER BY THE PROPERTY OWNER/APPLICANT.

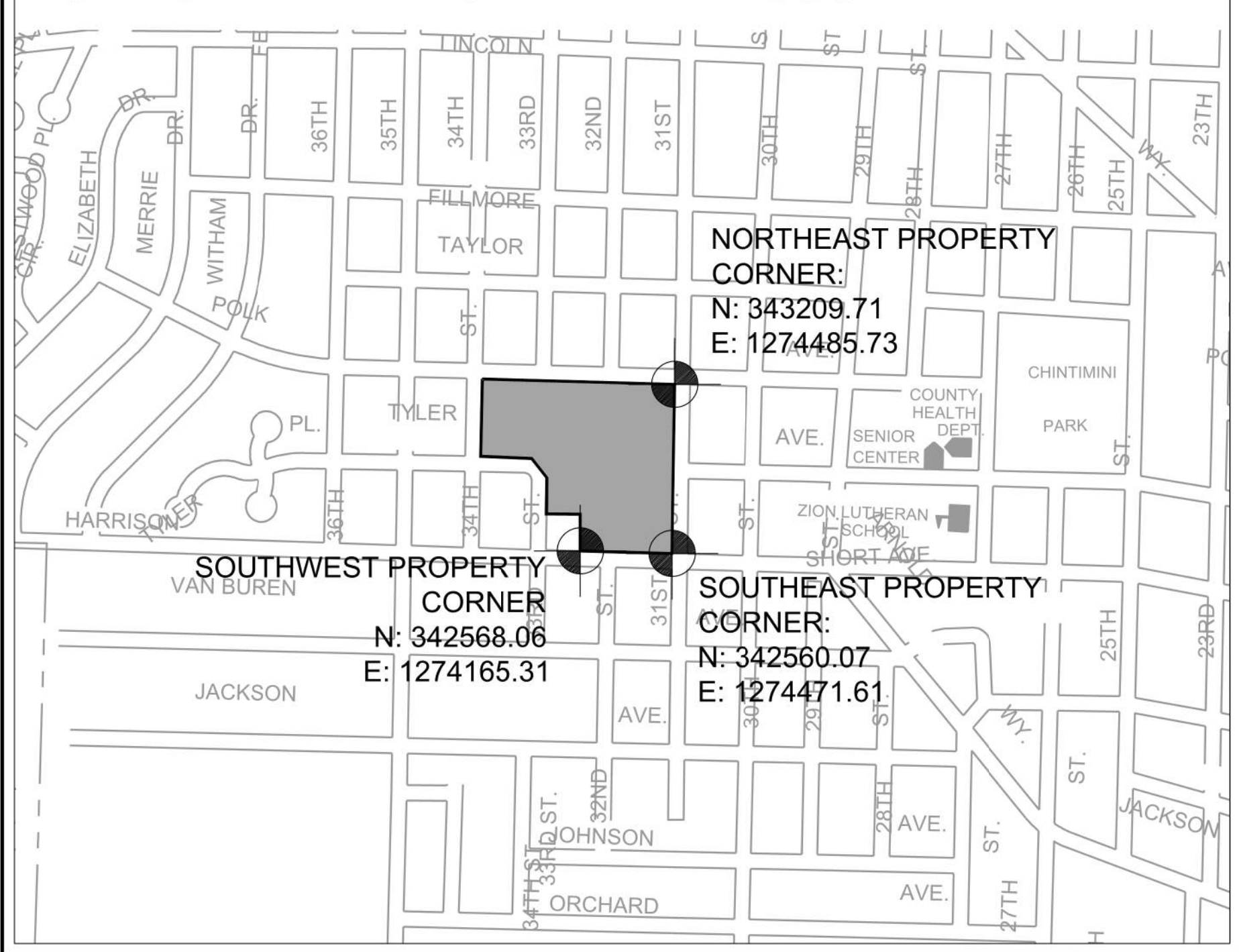
BENCHMARK:

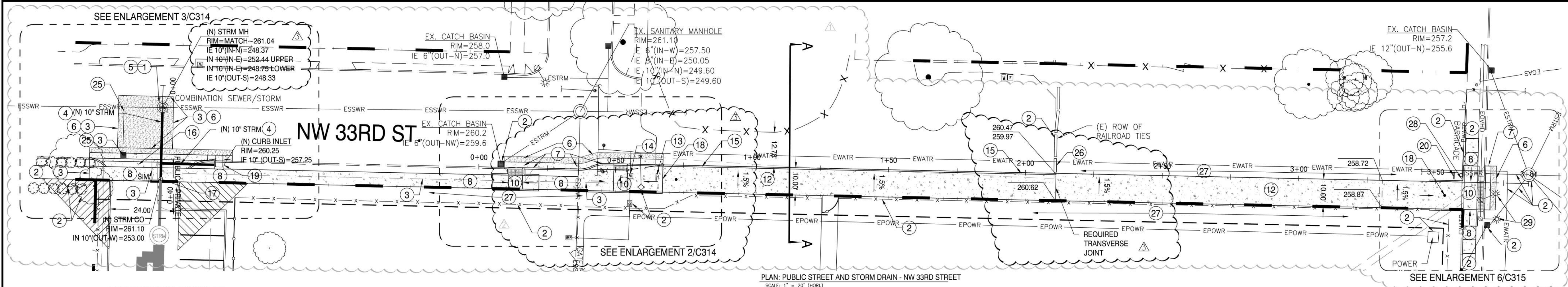
THE HORIZONTAL AND VERTICAL DATUMS FOR THIS PROJECT ARE NAD27 AND NGVD29(47) RESPECTIVELY AND IS BASED UPON MULTIPLE PUBLISHED CITY OF CORVALLIS CONTROL POINTS LOCATED THROUGHOUT THE CITY. THE PROJECT BENCHMARK IS A PK NAIL LOCATED IN THE SIDEWALK OF NW 31ST STREET APPROXIMATELY 12.3' NORTH OF THE SIDEWALK CONNECTING TO THE FLAG POLE. ELEVATION=255.86'

LEGEND

(E)	EXISTING	(S)	SANITARY SEWER MANHOLE
(N)	NEW	(R)	STEAM AND RETURN MANHOLE
EGAS	EXISTING GAS	(M)	STORM DRAIN MANHOLE
EIRRG	EXISTING IRRIGATION	(T)	TELECOMMUNICATIONS MANHOLE
EPOWR	EXISTING POWER	(V)	GAS VALVE
ESSWR	EXISTING SANITARY SEWER	(W)	WATER VALVE, AIR RELEASE VALVE
ESTEM	EXISTING STEAM AND RETURN	(M)	WATER METER, GAS METER
ESTRM	EXISTING STORM DRAIN	(F)	FIRE HYDRANT
ECOMM	EXISTING TELECOMMUNICATIONS	(F)	FIRE DEPARTMENT CONNECTION
ECABL	EXISTING TV CABLE	(H)	HOSE BIB
EWATR	EXISTING WATER	(S)	IRRIGATION SPRINKLER HEAD
GAS	NEW GAS	(C)	CATCH BASIN
IRRG	NEW IRRIGATION	(I)	CURB INLET
POWR	NEW POWER	(C)	CLEAN OUT
SSWR	NEW SANITARY SEWER	(R)	RAIN DRAIN
STRM	NEW STORM DRAIN	(T)	THRUST BLOCK
COMM	NEW TELECOMMUNICATIONS	(S)	STREET LIGHT, PARKING LOT LIGHT
CABL	NEW TV CABLE	(L)	LANDSCAPE LIGHT
WATR	NEW WATER	(U)	UTILITY POLE
	EXISTING IMPROVEMENTS	(V)	UTILITY VAULT
	NEW IMPROVEMENTS	(E)	ELECTRICAL PEDESTAL
	FUTURE IMPROVEMENTS	(T)	TRANSFORMER
	EXISTING PROPERTY LINE	(C)	CABLE PEDESTAL
	EXISTING IRON PIPE OR ROD	(T)	TELECOMMUNICATIONS PEDESTAL
	EXISTING EASEMENT	(S)	SIGN
	EXISTING RIGHT-OF-WAY	(M)	MAILBOX
	EXISTING BUILDINGS	(C)	EXISTING CONTOUR
	EXISTING BUILDING OVERHANG		
	CENTERLINE		
	SAWCUT LINE		
	APPROXIMATE CLEARING LIMITS		
	EXISTING DECIDUOUS TREE		
	EXISTING EVERGREEN TREE		
	EXISTING SHRUB		
	FENCE		
	DITCH FLOW LINE		

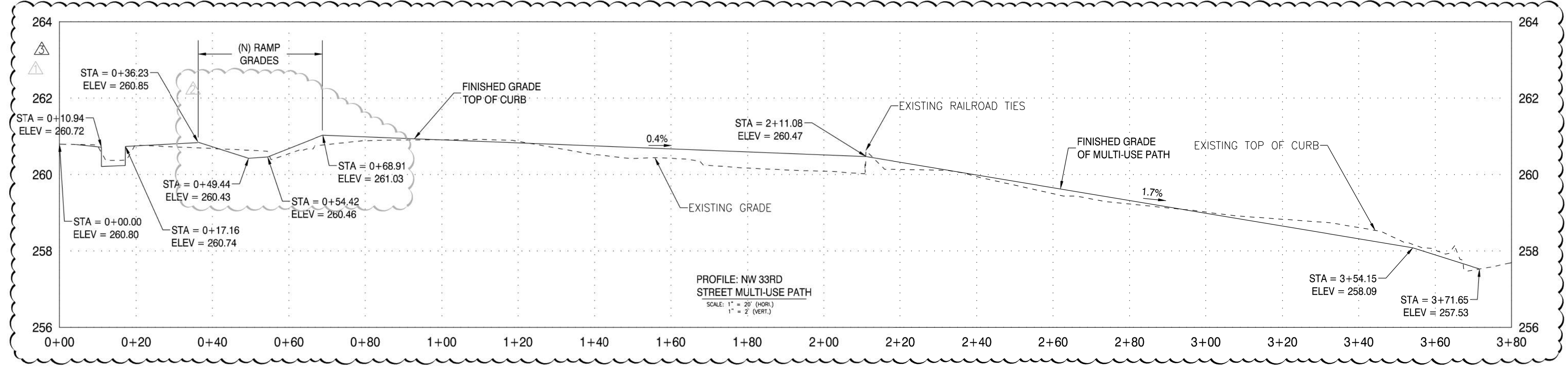
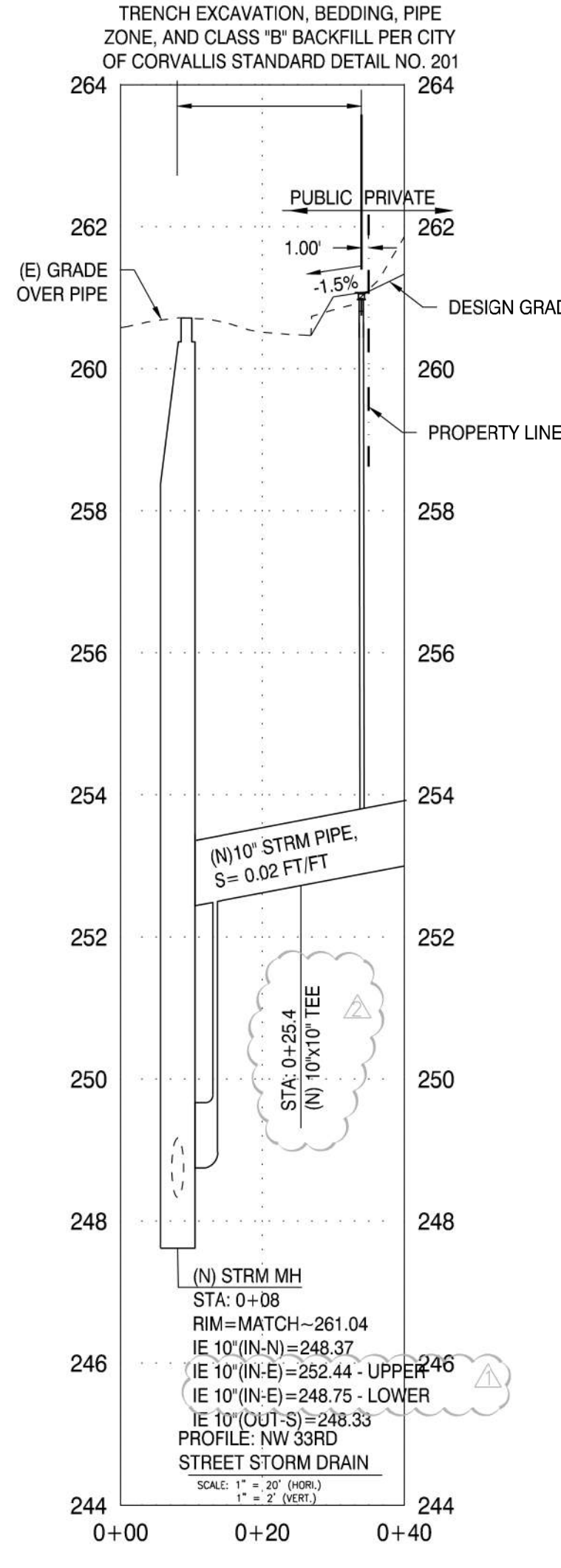
OR NORTH NAD27 STATE PLANE COORDINATE TIE-IN





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SCALE: 1" = 20'
0 5 10 20 40
SCALE IN FEET



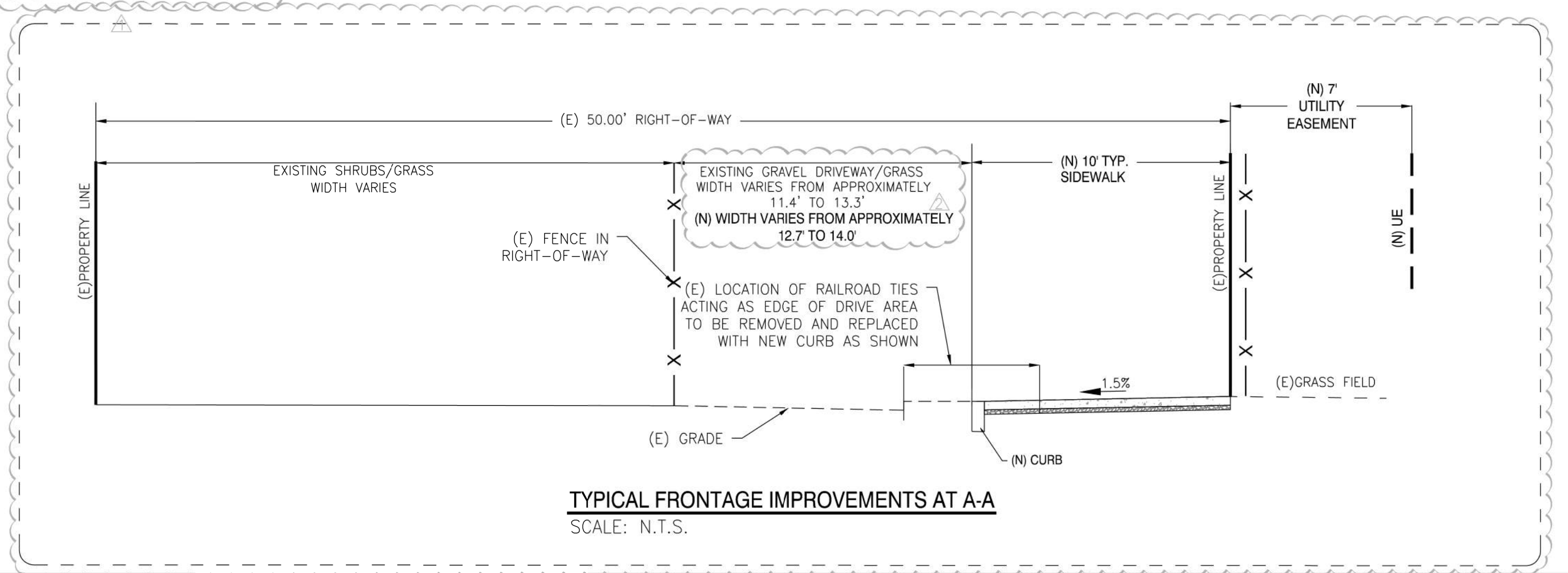
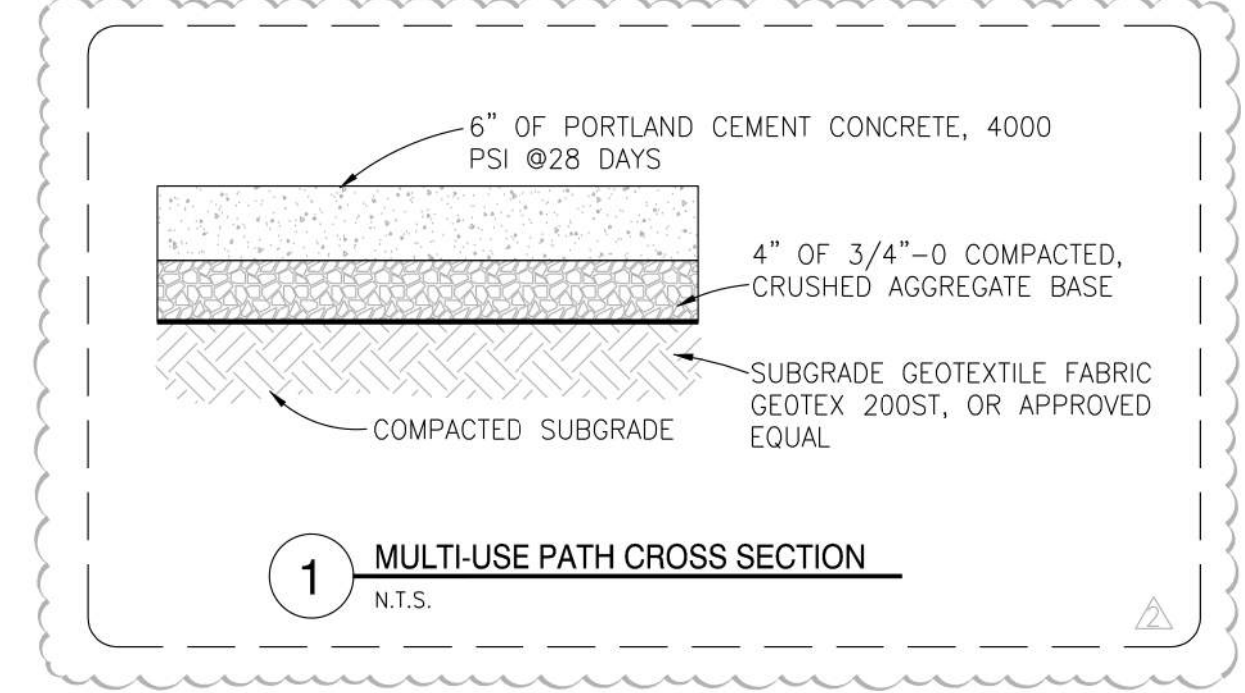
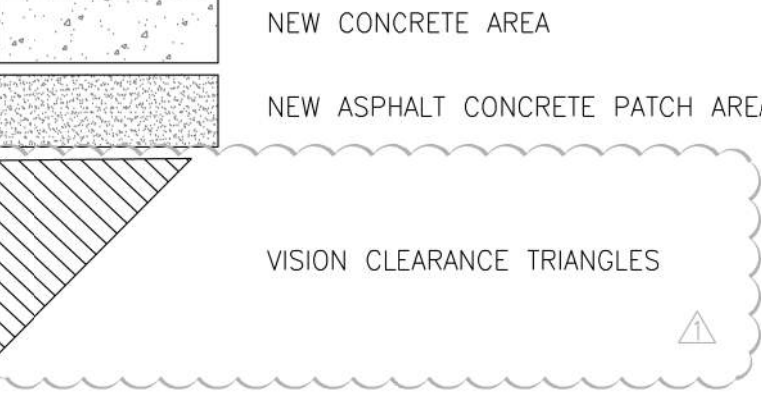
STREET AND STORM DRAIN CONSTRUCTION NOTES:

1. PRIOR TO CONSTRUCTION, FIELD VERIFY LOCATION AND ELEVATION OF EXISTING UTILITY. REPORT INFORMATION TO THE ENGINEER.
2. PRESERVE AND PROTECT EXISTING IMPROVEMENT.
3. SAWCUT AND REMOVE EXISTING IMPROVEMENT. SIDEWALKS AND CURBS SHALL BE REMOVED IN FULL JOINT-TO-JOINT SECTIONS.
4. CONSTRUCT DESIGNATED SIZE, ASTM D3034, SDR35 STORM PIPE PER CITY OF CORVALLIS STANDARD DETAIL NO. 201/STND1.
5. CONSTRUCT NEW OUTSIDE DROP MANHOLE OVER EXISTING COMBINATION SANITARY/STORM LINE PER CITY OF CORVALLIS STANDARD DETAIL NO. 203A/STND1 AND CITY OF CORVALLIS STANDARD CONSTRUCTION SPECIFICATIONS SECTIONS III.4.D.02.03 AND III.4.D.02.7.
6. PATCH WITH FULL DEPTH ASPHALT CONCRETE PAVEMENT, MINIMUM 4" DEPTH OR MATCH EXISTING, WHICHEVER IS GREATER. SEE CITY OF CORVALLIS STANDARD DETAIL NO. 110/STND1.
7. CONSTRUCT STANDARD CURB AND GUTTER PER CITY OF CORVALLIS STANDARD DETAIL NO. 103/STND1.
8. CONSTRUCT CONCRETE SIDEWALK PER CITY OF CORVALLIS STANDARD DETAIL NO. 106/STND1. AT SIM. CONCRETE THICKNESS SHALL BE 8".
9. CONSTRUCT STANDARD SIDEWALK RAMP "B" PER CITY OF CORVALLIS STANDARD DETAIL 107/STND1
10. CONSTRUCT STANDARD SIDEWALK RAMP "C" OR "D" AS INDICATED ON THE PLANS PER CITY OF CORVALLIS STANDARD DETAIL 107A/STND1. ALL TRUNCATED DOMES IN A HISTORICAL DISTRICT SHALL BE OF CONCRETE MATERIAL PER 107A NOTE 3.
11. CONSTRUCT CONNECTION OF EXISTING PIPE TO NEW STRUCTURE PER THE APPLICABLE PROVISIONS OF THE CITY OF CORVALLIS SPECIFICATIONS SECTION III.5.D.05. PIPE SHALL NOT PROTRUDE PAST THE INSIDE FACE OF STRUCTURE AND BE GROUTED SMOOTH.
12. CONSTRUCT PORTLAND CEMENT CONCRETE MULTI-USE PATH PER DETAIL NO. 1/C311.
13. RELOCATION OF EXISTING SIGN BY CITY CREW AND TO BE PAID FOR BY THE OWNER OR CONTRACTOR. COORDINATE WITH CITY FIELD REPRESENTATIVE FOR FINAL LOCATION.
14. EXISTING STRUCTURE TO BE ADJUSTED TO NEW FINISH GRADE AS REQUIRED.
15. CONSTRUCT STANDARD 16" STRAIGHT CURB PER CITY OF CORVALLIS STANDARD DETAIL 103/STND1.
16. CONSTRUCT COMMERCIAL DRIVEWAY APPROACH WITH VALLEY GUTTER SIMILAR TO CITY OF CORVALLIS STANDARD DETAIL 109/STND2 AND 104/STND2.
17. CONSTRUCT STORM CLEAN OUT AT THE PROPERTY LINE PER CITY OF CORVALLIS STANDARD DETAIL 206/STND2. STAND PIPE MAY BE 8" DIAMETER.
18. CONSTRUCT 3"x28" YELLOW FLEXIBLE BOLLARD PER IMPACT RECOVERY SYSTEMS STANDARD DETAIL 1/STND2.
19. CONSTRUCT CURB INLET PER CITY OF CORVALLIS STANDARD DETAIL 209/STND2.
20. INSTALL "NO MOTOR VEHICLES" SIGN PER MUTCD DETAIL R5-3. INSTALLATION BY CITY CREW AND TO BE PAID FOR BY THE OWNER OR CONTRACTOR. COORDINATE WITH CITY FIELD REPRESENTATIVE.
21. EXISTING STRIPING SHALL BE REMOVED PER CITY OF CORVALLIS STANDARD CONSTRUCTION SPECIFICATIONS SECTION II.11.D.04.
22. CONSTRUCT NEW CROSSWALK STRIPING PER CITY OF CORVALLIS STANDARD DETAIL 112/STND2.
23. ADJUST EXISTING LIGHTPOLE CLOCKWISE 45 DEGREES TO ILLUMINATE INTERSECTION. COORDINATE ADJUSTMENT WITH PACIFICORP. CONTACT PACIFICORP REPRESENTATIVE EDDIE STEINER 541-976-6146.
24. PAINT CURB YELLOW.
25. EXISTING PUBLIC UTILITY TO BE REMOVED AND CAPPED AT THE MAIN.
26. RELOCATE EXISTING RAILROAD TIE TO BE PERPENDICULAR WITH MULTI-USE PATH. RESIZE AS NECESSARY.
27. GRADING ADJACENT TO MULTI-USE PATH SHALL BE PER CITY OF CORVALLIS STANDARD DETAIL 106/STND1.
28. FIELD MODIFY OR ADJUST BARRICADE AS NECESSARY TO MAINTAIN 2 FEET OF CLEARANCE FROM EDGE OF NEW PATH.
29. RELOCATE EXISTING LIGHTPOLE, EAST 6.50', OUTSIDE OF PROPOSED SIDEWALK RAMP. COORDINATE ADJUSTMENT WITH PACIFICORP. CONTACT PACIFICORP REPRESENTATIVE EDDIE STEINER 541-976-6146.

STREET AND STORM DRAIN GENERAL NOTES:

1. CONTRACTOR SHALL CONFORM TO ALL CONSTRUCTION PERMITS REQUIRED BY THE CITY OF CORVALLIS.
2. ALL CURBSIDE AND SETBACK SIDEWALKS SHALL HAVE A CROSS SLOPE OF 1.5% +/- 0.5%.

DRAWING HATCHING LEGEND



CITY OF CORVALLIS PIPC NO. PIP-2021-1754

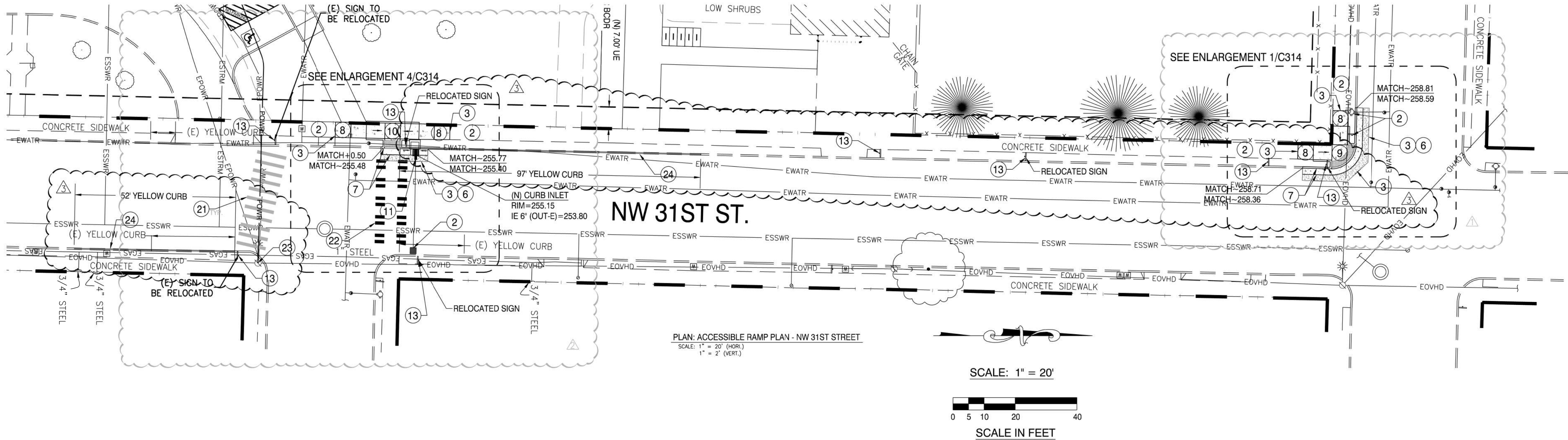
PROJECT: COLLEGE HILL HIGH SCHOOL - PUBLIC IMPROVEMENTS
PROJECT LOCATION: CORVALLIS, OR
CLIENT: PIVOT ARCHITECTURE

SHEET TITLE: NW 33RD STREET PUBLIC STORM DRAIN AND SIDEWALK PLAN

JOB NO. 19415
DRAWN BY: DEVCO
DRAWING: C311

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DRAWING HATCHING LEGEND

- NEW CONCRETE AREA
- NEW ASPHALT CONCRETE PATCH AREA
- VISION CLEARANCE TRIANGLES

CORVALLIS
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07/14/2022 manley
Development Review Engineering
Separate Permit Required

REGISTERED PROFESSIONAL
ENGINEER
56483PE
OREGON
JULY 15, 2002
JULY 15, 2002
EXPIRES: 06/30/2023

DRAWING STATUS:	DATE:	REVISION:	DATE:
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<input type="checkbox"/> BID SET		<input type="checkbox"/> CITY REVIEW	06/06/22
<input type="checkbox"/> PERMIT SET			
<input type="checkbox"/> CONST. SET			

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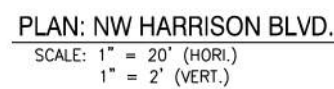
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STORM DRAIN AND
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JOB NO. 19415
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DRAWING:

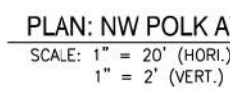
C312

CITY OF CORVALLIS PIPC NO. PIP-2021-1754



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<input checked="" type="checkbox"/> SUBMITTED	12/23/21	△	CITY REVIEW(04/19/22)	05/06/22
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<input type="checkbox"/> PERMIT SET		△		
<input type="checkbox"/> CONST. SET		△		
<input type="checkbox"/>		△		



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CORVALLIS, OR 97339
WWW.DEVCOENGINEERING.COM

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Oregon
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PROJECT: COLLEGE HILL HIGH SCHOOL -
PUBLIC IMPROVEMENTS

PROJECT LOCATION: CORVALLIS, OR

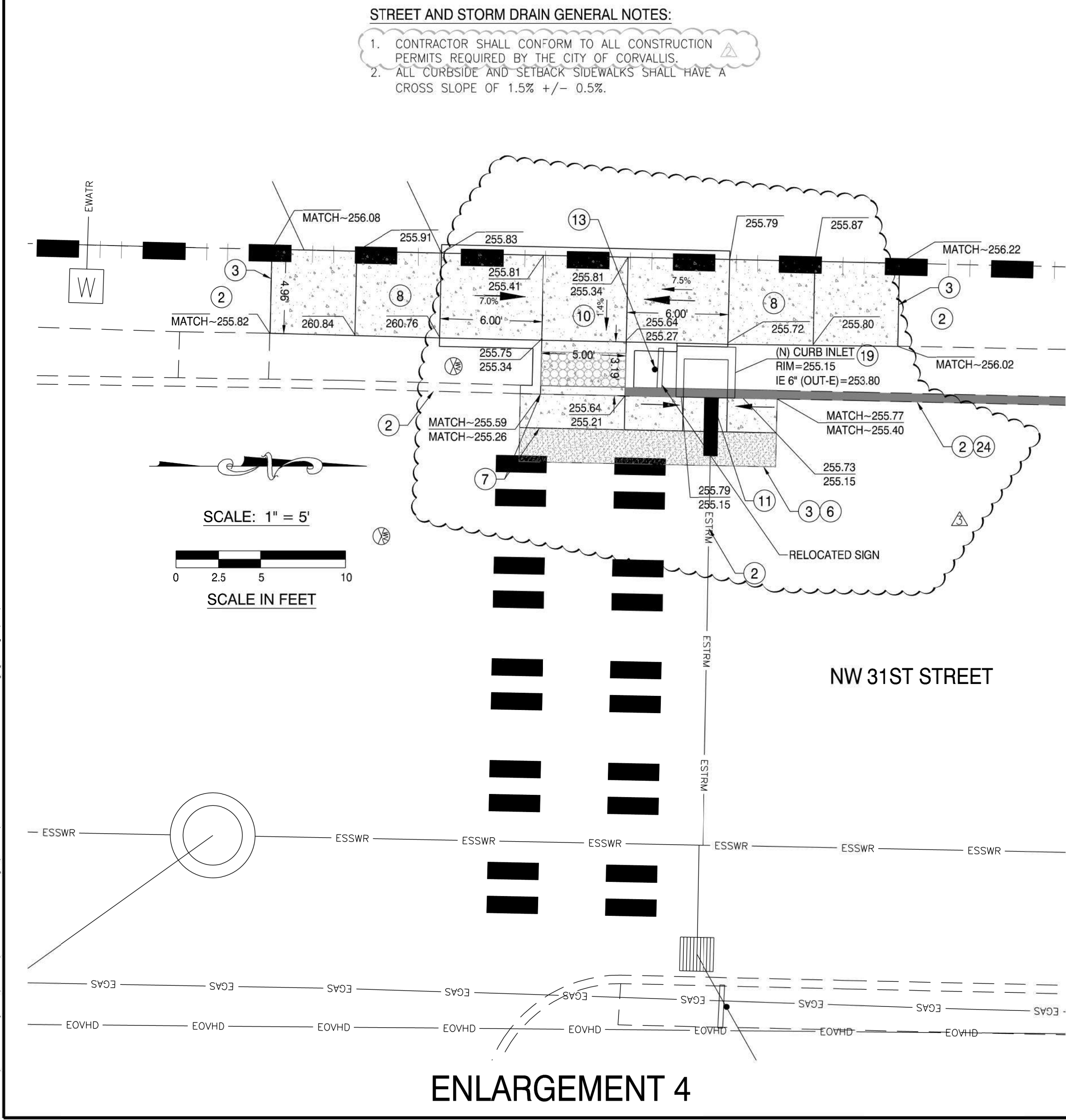
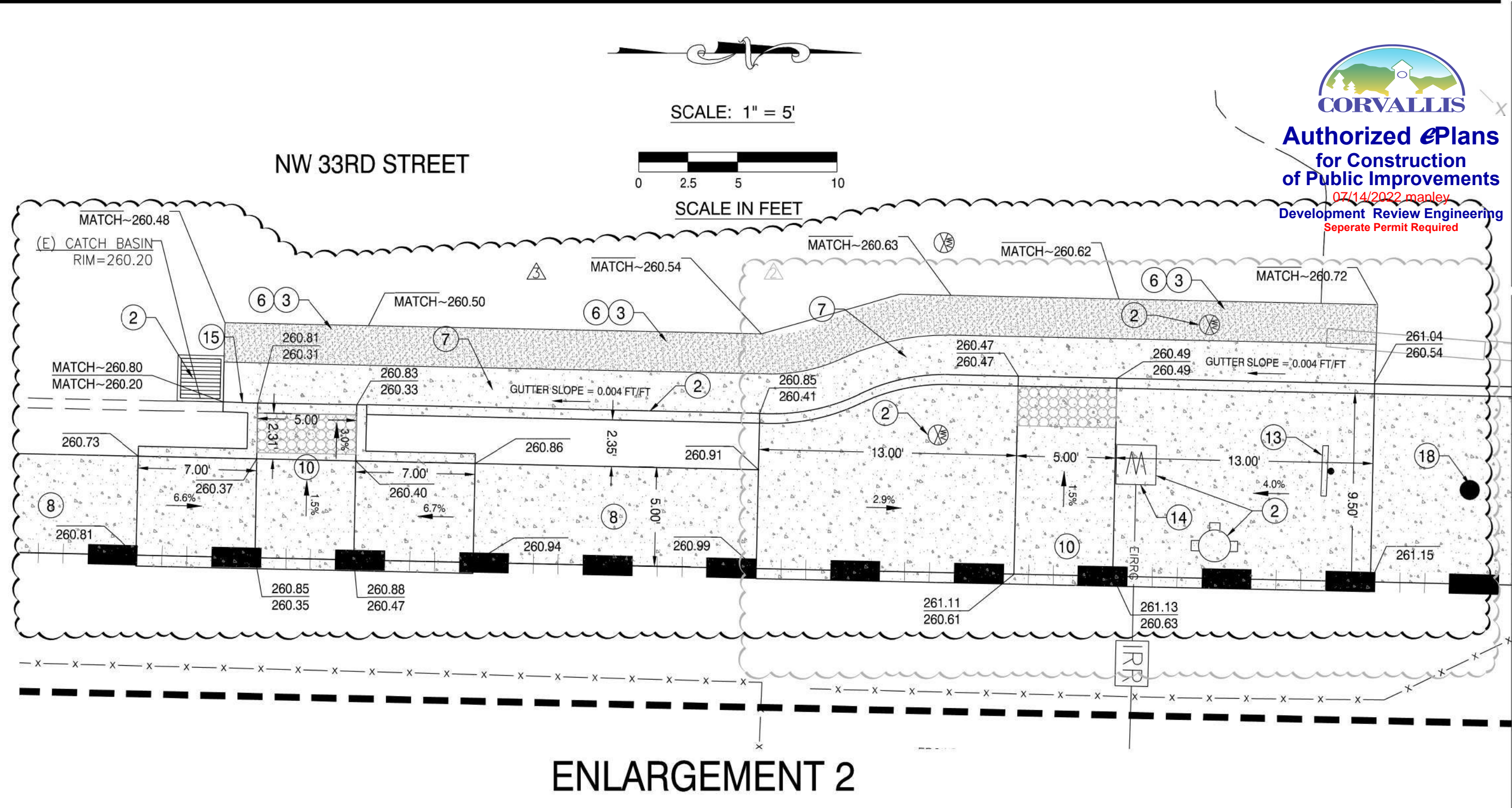
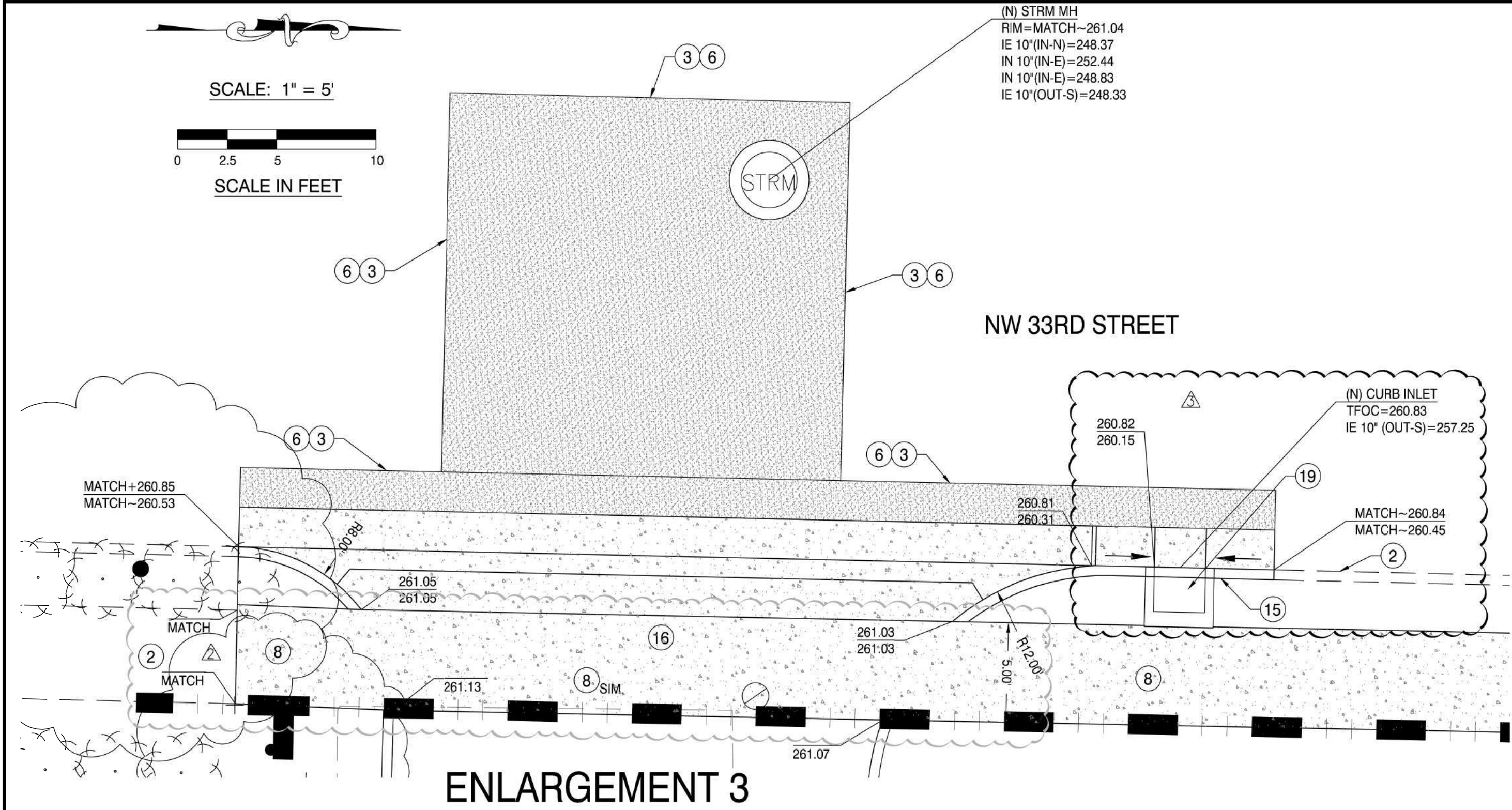
CLIENT: PIVOT ARCHITECTURE

SHEET TITLE: NW HARRISON BLVD. AND
NW POLK AVE. SIDEWALK
PLAN

JOB NO.	19415
DRAWN BY:	DEVCO
DRAWING:	C313

CITY OF CORVALLIS PIPC NO. PIP-2021-1754 

FILE: I:\CIVIL3D Projects\19415\Production Drawings\Public\19415\IPC_STRM_STRM_PLAN.dwg [C313] 6/22/2022 8:56 AM - Scott

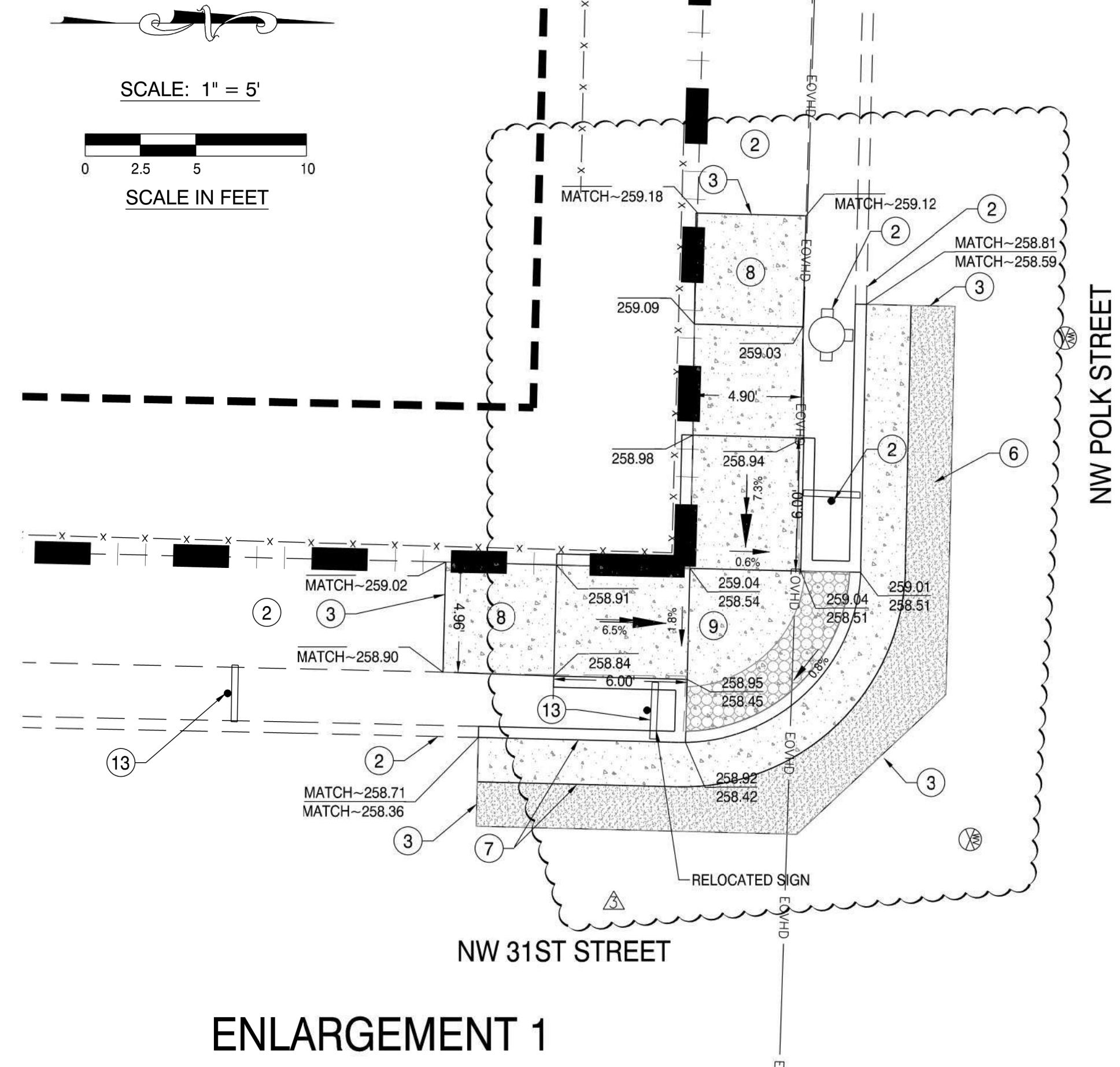


STREET AND STORM DRAIN CONSTRUCTION NOTES:

1. PRIOR TO CONSTRUCTION, FIELD VERIFY LOCATION AND ELEVATION OF EXISTING UTILITY. REPORT INFORMATION TO THE ENGINEER.
2. PRESERVE AND PROTECT EXISTING IMPROVEMENT.
3. SAWCUT AND REMOVE EXISTING IMPROVEMENT. SIDEWALKS AND CURBS SHALL BE REMOVED IN FULL JOINT-TO-JOINT SECTIONS.
4. CONSTRUCT DESIGNATED SIZE, ASTM D3034, SDR35 STORM PIPE PER CITY OF CORVALLIS STANDARD DETAIL NO. 201/STND1.
5. CONSTRUCT NEW OUTSIDE DROP MANHOLE OVER EXISTING COMBINATION SANITARY/STORM LINE PER CITY OF CORVALLIS STANDARD DETAIL NO. 203A/STND1 AND CITY OF CORVALLIS STANDARD CONSTRUCTION SPECIFICATIONS SECTIONS III.4.D.02.03 AND III.4.D.02.7.
6. PATCH WITH FULL DEPTH ASPHALT CONCRETE PAVEMENT, MINIMUM 4" DEPTH OR MATCH EXISTING, WHICHEVER IS GREATER. SEE CITY OF CORVALLIS STANDARD DETAIL NO. 110/STND1.
7. CONSTRUCT STANDARD CURB AND GUTTER PER CITY OF CORVALLIS STANDARD DETAIL NO. 103/STND1.
8. CONSTRUCT CONCRETE SIDEWALK PER CITY OF CORVALLIS STANDARD DETAIL NO. 106/STND1. AT SIM. CONCRETE THICKNESS SHALL BE 8".
9. CONSTRUCT STANDARD SIDEWALK RAMP "B" PER CITY OF CORVALLIS STANDARD DETAIL 107/STND1.
10. CONSTRUCT STANDARD SIDEWALK RAMP "C" OR "D" AS INDICATED ON THE PLANS PER CITY OF CORVALLIS STANDARD DETAIL 107A/STND1. ALL TRUNCATED DOMES IN A HISTORICAL DISTRICT SHALL BE OF CONCRETE MATERIAL PER 107A NOTE 3.
11. CONSTRUCT CONNECTION OF EXISTING PIPE TO NEW STRUCTURE PER THE APPLICABLE PROVISIONS OF THE CITY OF CORVALLIS SPECIFICATIONS SECTION III.5.D.05. PIPE SHALL NOT PROTRUDE PAST THE INSIDE FACE OF STRUCTURE AND BE GROUTED SMOOTH.
12. CONSTRUCT PORTLAND CEMENT CONCRETE MULTI-USE PATH PER DETAIL NO. 1/C311.
13. RELOCATION OF EXISTING SIGN BY CITY CREW AND TO BE PAID FOR BY THE OWNER OR CONTRACTOR. COORDINATE WITH CITY FIELD REPRESENTATIVE FOR FINAL LOCATION.
14. EXISTING STRUCTURE TO BE ADJUSTED TO NEW FINISH GRADE AS REQUIRED.
15. CONSTRUCT STANDARD 16" STRAIGHT CURB PER CITY OF CORVALLIS STANDARD DETAIL 103/STND1.
16. CONSTRUCT COMMERCIAL DRIVEWAY APPROACH WITH VALLEY GUTTER SIMILAR TO CITY OF CORVALLIS STANDARD DETAIL 109/STND2 AND 104/STND2.
17. CONSTRUCT STORM CLEAN OUT AT THE PROPERTY LINE PER CITY OF CORVALLIS STANDARD DETAIL 206/STND2. STAND PIPE MAY BE 8" DIAMETER.
18. CONSTRUCT 3"x28" YELLOW FLEXIBLE BOLLARD PER IMPACT RECOVERY SYSTEMS STANDARD DETAIL 1/STND2.
19. CONSTRUCT CURB INLET PER CITY OF CORVALLIS STANDARD DETAIL 209/STND2.
20. INSTALL "NO MOTOR VEHICLES" SIGN PER MUTCD DETAIL R5-3. INSTALLATION BY CITY CREW AND TO BE PAID FOR BY THE OWNER OR CONTRACTOR. COORDINATE WITH CITY FIELD REPRESENTATIVE.
21. EXISTING STRIPING SHALL BE REMOVED PER CITY OF CORVALLIS STANDARD CONSTRUCTION SPECIFICATIONS SECTION II.11.D.04.
22. CONSTRUCT NEW CROSSWALK STRIPING PER CITY OF CORVALLIS STANDARD DETAIL 112/STND2.
23. ADJUST EXISTING LIGHTPOLE CLOCKWISE 45 DEGREES TO ILLUMINATE INTERSECTION. COORDINATE ADJUSTMENT WITH PACIFICORP. CONTACT PACIFICORP REPRESENTATIVE EDDIE STEINER 541-976-6146.
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27. GRADING ADJACENT TO MULTI-USE PATH SHALL BE PER CITY OF CORVALLIS STANDARD DETAIL 106/STND1.
28. FIELD MODIFY OR ADJUST BARRICADE AS NECESSARY TO MAINTAIN 2 FEET OF CLEARANCE FROM EDGE OF NEW PATH.
29. RELOCATE EXISTING LIGHT POLE, EAST 6.50', OUTSIDE OF PROPOSED SIDEWALK RAMP. COORDINATE ADJUSTMENT WITH PACIFICORP. CONTACT PACIFICORP REPRESENTATIVE EDDIE STEINER 541-976-6146.

DRAWING HATCHING LEGEND

- NEW CONCRETE AREA
- NEW ASPHALT CONCRETE PATCH AREA



CORVALLIS
Authorized Plans
for Construction
of Public Improvements
Development Review Engineering
Separate Permit Required

REGISTERED PROFESSIONAL
ENGINEER
56483PE
OREGON
STEPHEN C. P. HATYORI
EXPIRES: 06/30/2023

DRAWING STATUS:	DATE:	REVISION:	No.
PRELIMINARY	12/23/21	CITY REVIEW(03/02/22)	1
SUBMITTED	05/06/22	CITY REVIEW(04/19/22)	2
BID SET	06/06/22	CITY REVIEW(06/06/22)	3
PERMIT SET			4
CONST. SET			5

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PROJECT:
COLLEGE HILL HIGH SCHOOL -
PUBLIC IMPROVEMENTS
PROJECT LOCATION:
CORVALLIS, OR
CLIENT:
PIVOT ARCHITECTURE

SHEET TITLE:
ACCESSIBLE RAMP AND
COMMERCIAL APPROACH
ENLARGED PLAN

JOB NO. 19415
DRAWN BY: DEVCO
DRAWING:
C314



CITY OF CORVALLIS PIPC NO. PIP-2021-1754

FILE: I:\C315\30 Projects\19415\Production Drawings\Public\19415PPC_STPM_STRT_PLAN.dwg [C315] 6/22/2022 8:57 AM - Scott

STREET AND STORM DRAIN GENERAL NOTES:

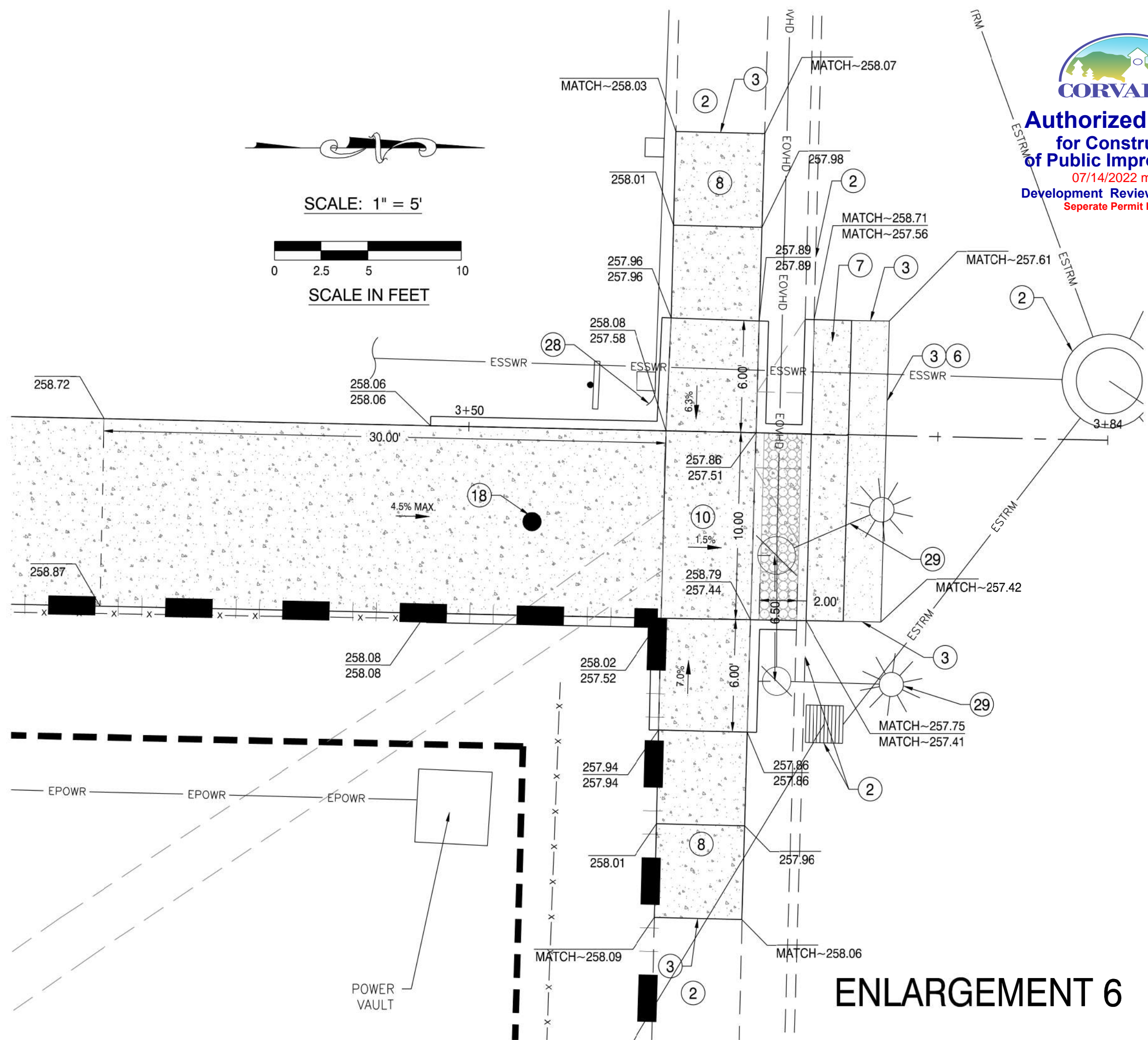
1. CONTRACTOR SHALL CONFORM TO ALL CONSTRUCTION PERMITS REQUIRED BY THE CITY OF CORVALLIS.
2. ALL CURBSIDE AND SETBACK SIDEWALKS SHALL HAVE A CROSS SLOPE OF 1.5% +/- 0.5%.

DRAWING HATCHING LEGEND

	NEW CONCRETE AREA
	NEW ASPHALT CONCRETE PATCH AREA

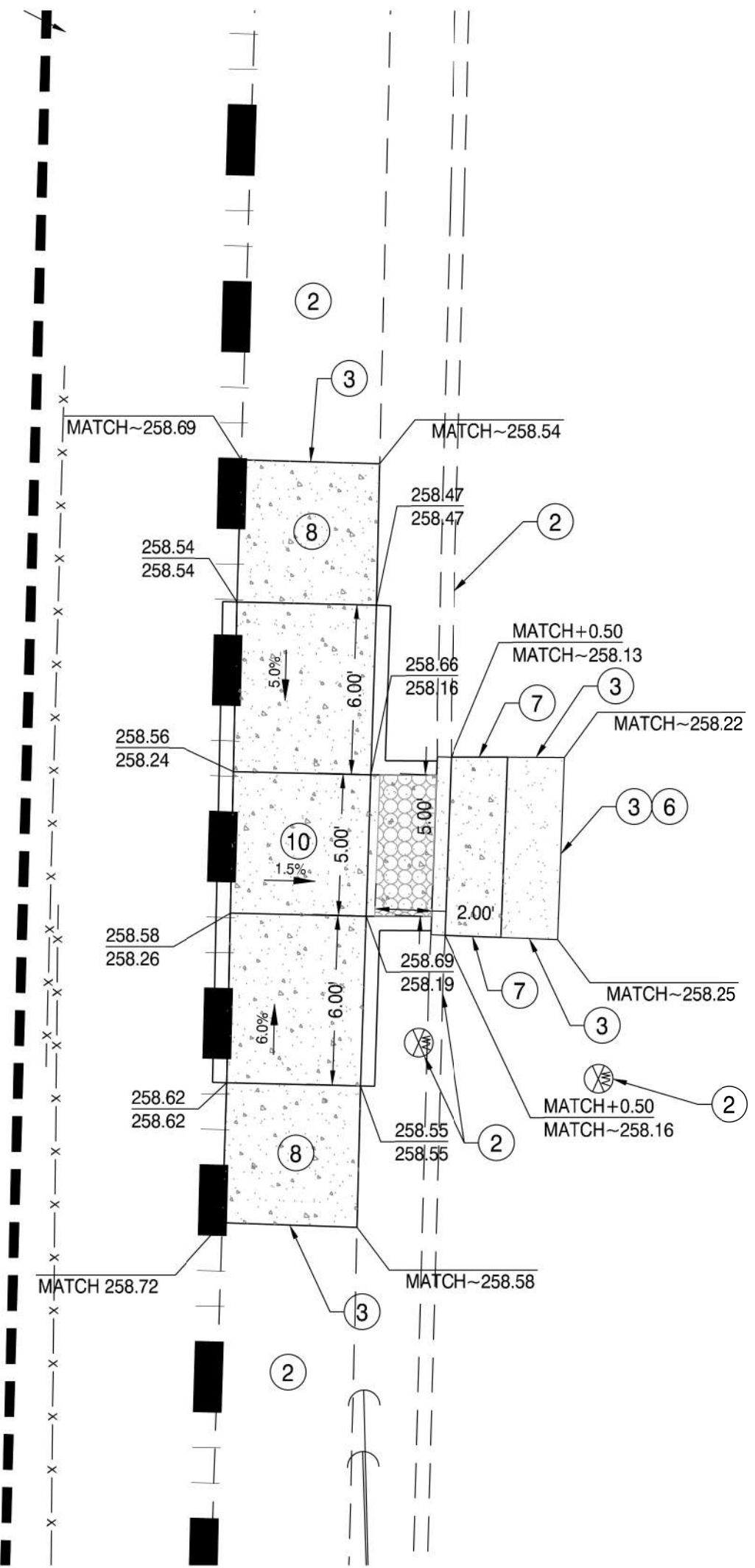
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ENLARGEMENT 6

ENLARGEMENT 5



CORVALLIS
Authorized Plans
for Construction
of Public Improvements
07/14/2022 manley
Development Review Engineering
Separate Permit Required

REGISTERED PROFESSIONAL
ENGINEER
56483PE
OREGON
JULY 15, 2002
EVEN, C. P. HATTON
EXPIRES: 06/30/2023

DRAWING STATUS:	DATE:	REVISION:	DATE:
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<input checked="" type="checkbox"/> SUBMITTED		<input type="checkbox"/> CITY REVIEW(04/19/22)	05/06/22
<input type="checkbox"/> BID SET		<input type="checkbox"/> CITY REVIEW(06/06/22)	06/02/22
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<input type="checkbox"/> CONST. SET			

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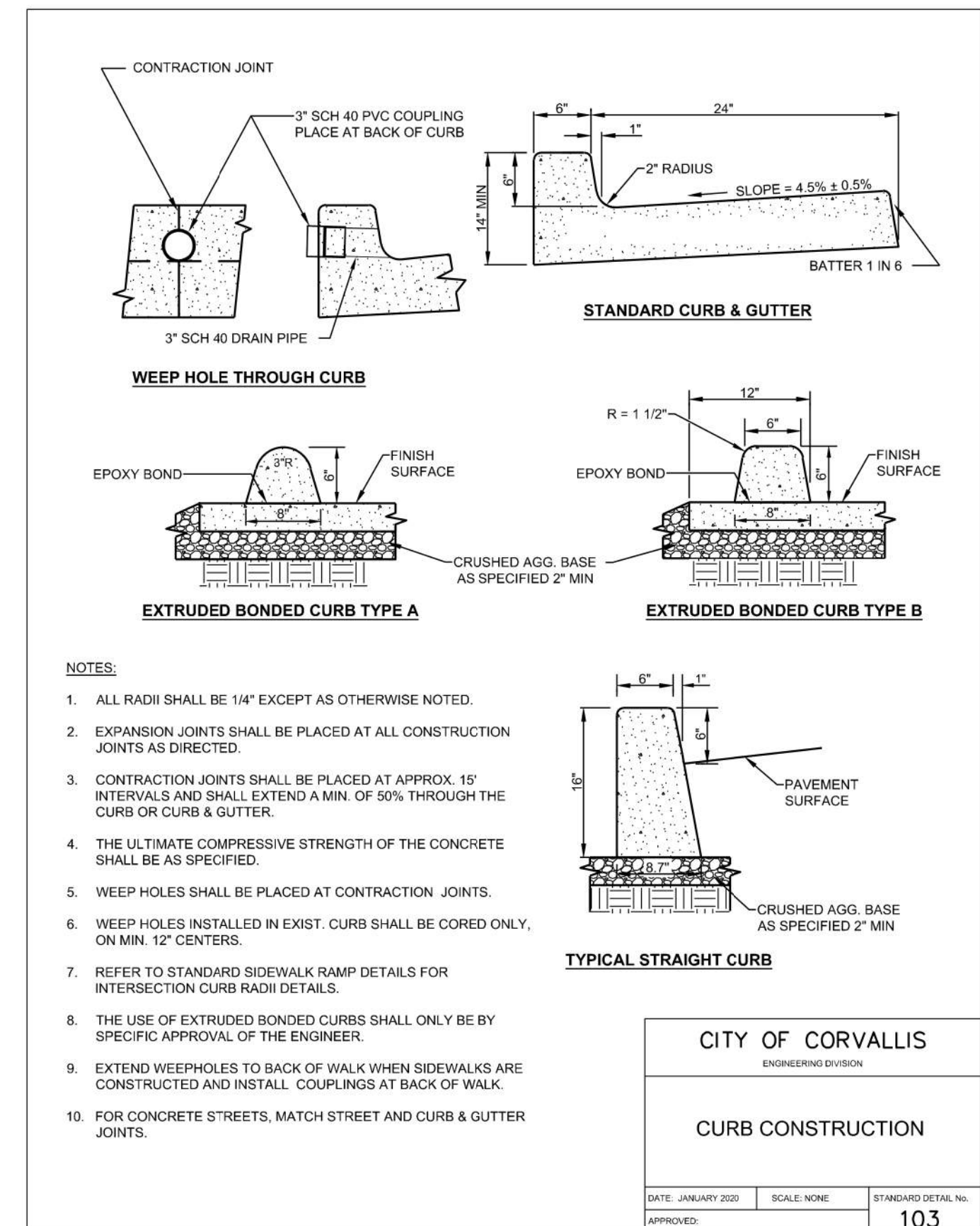
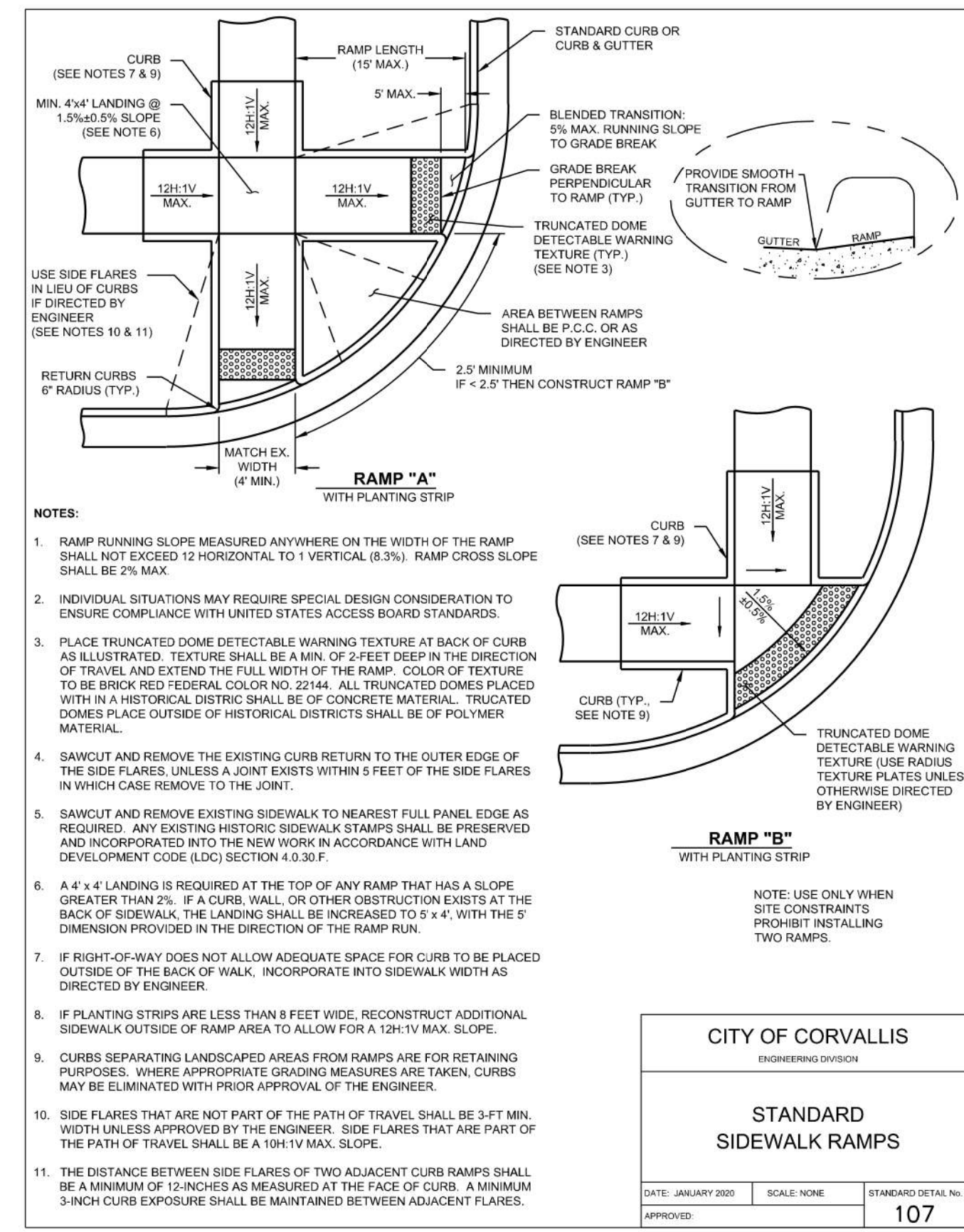
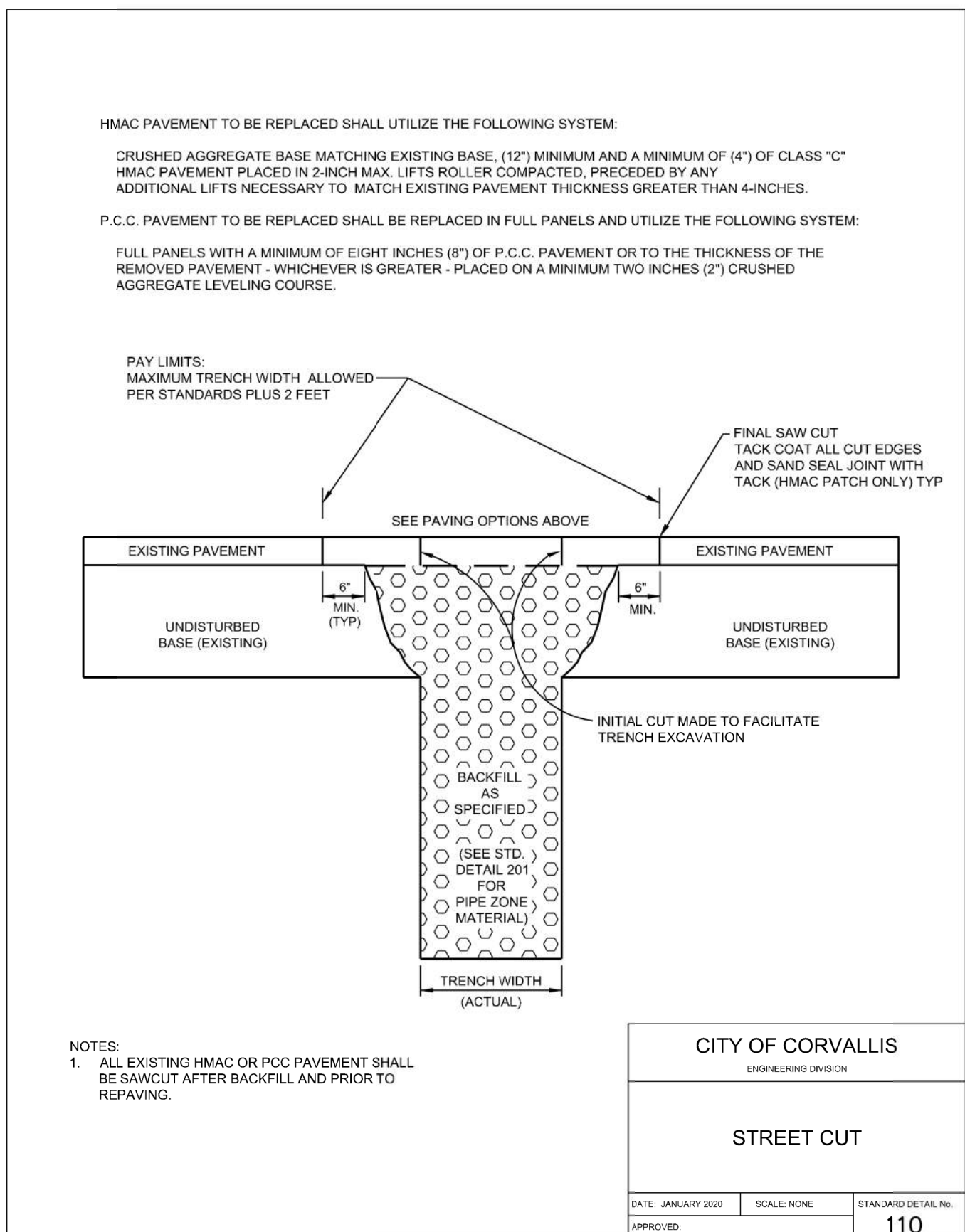
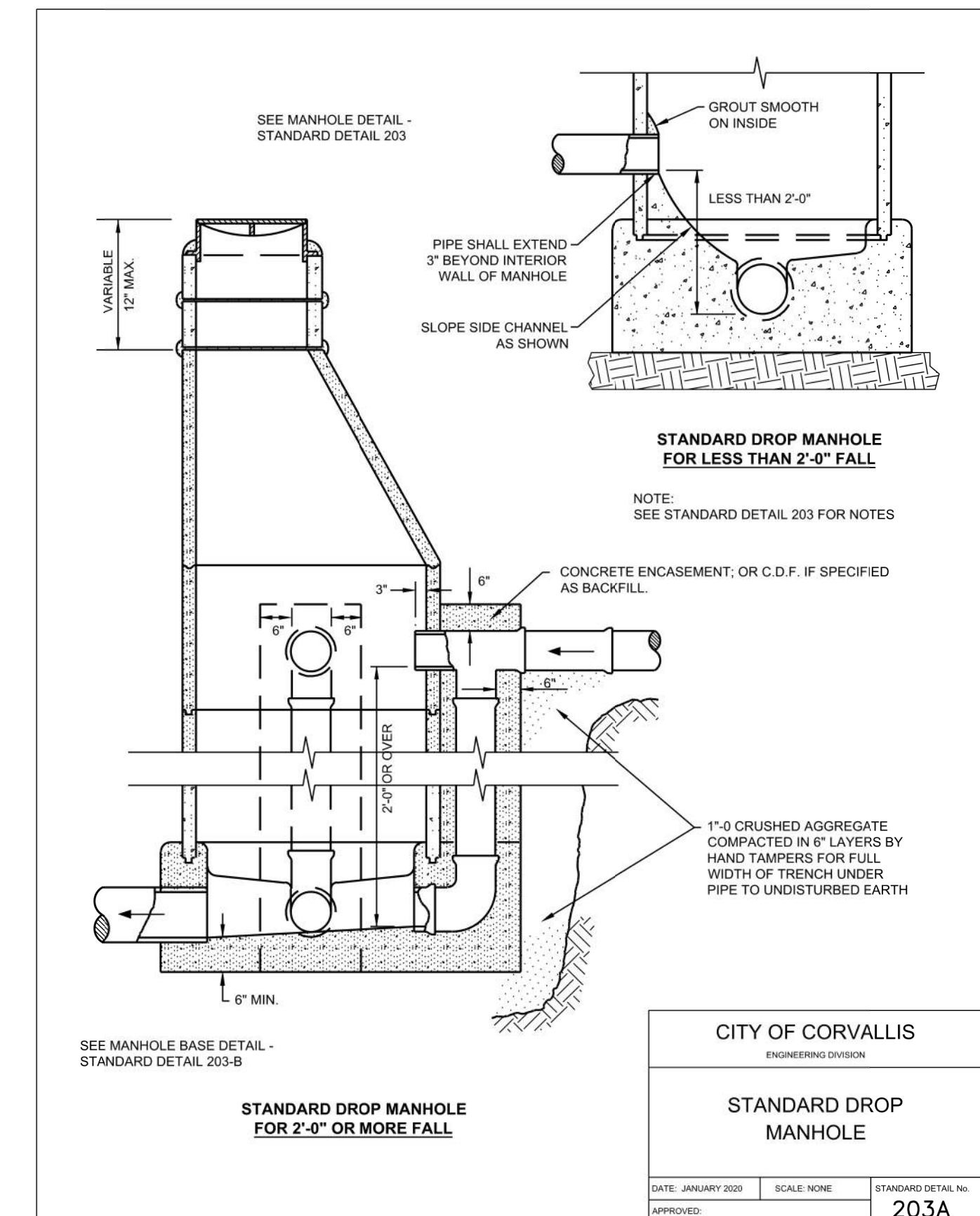
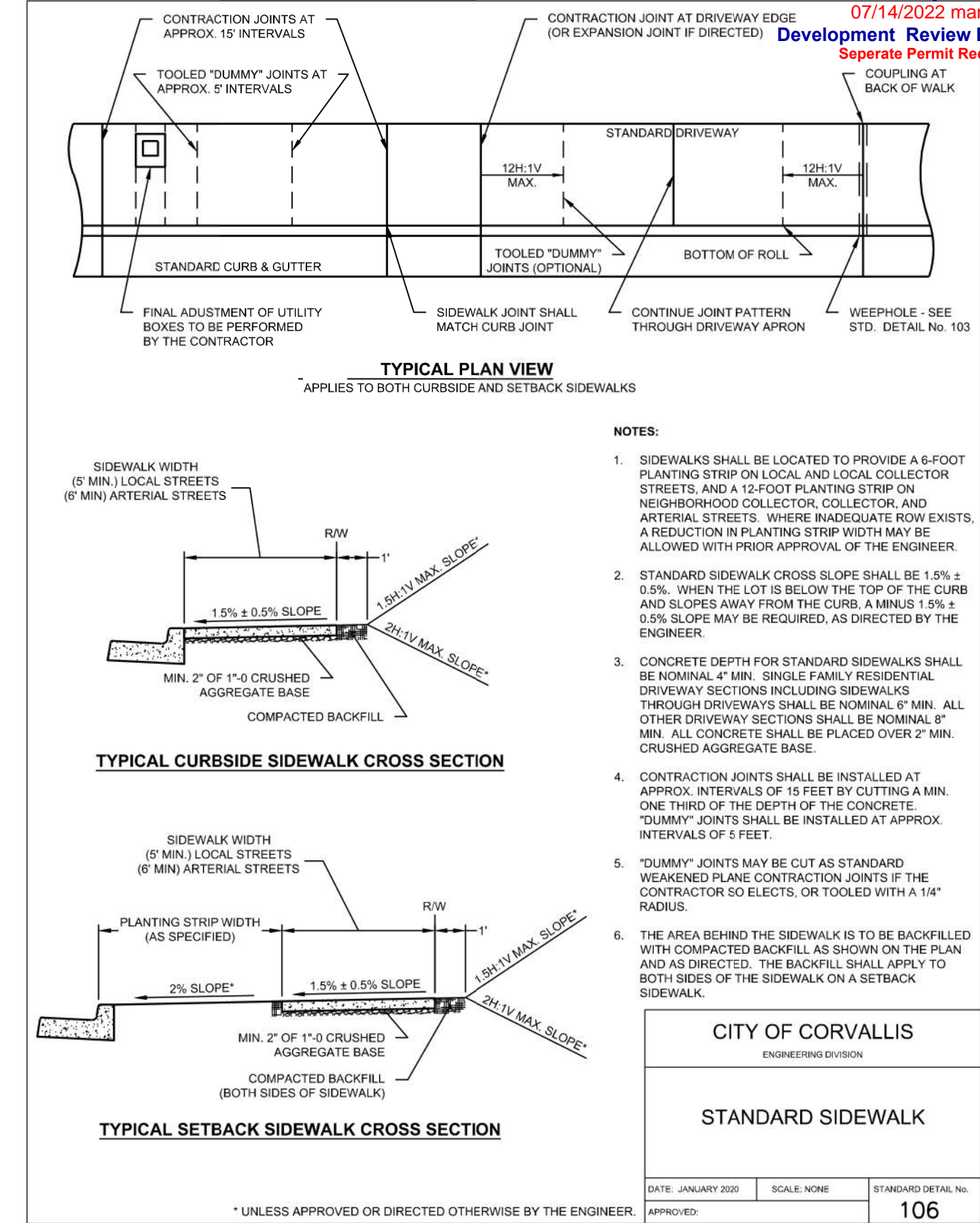
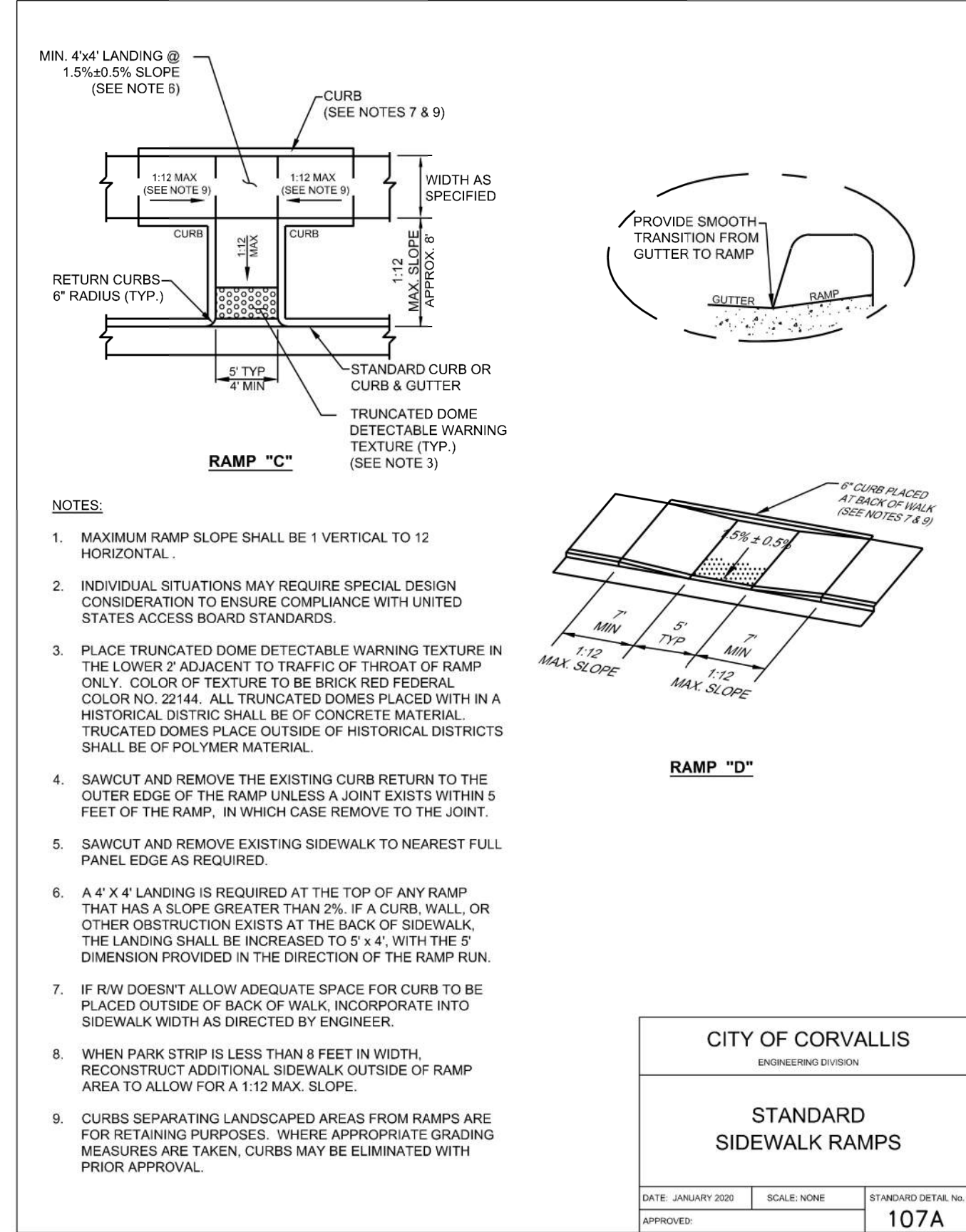
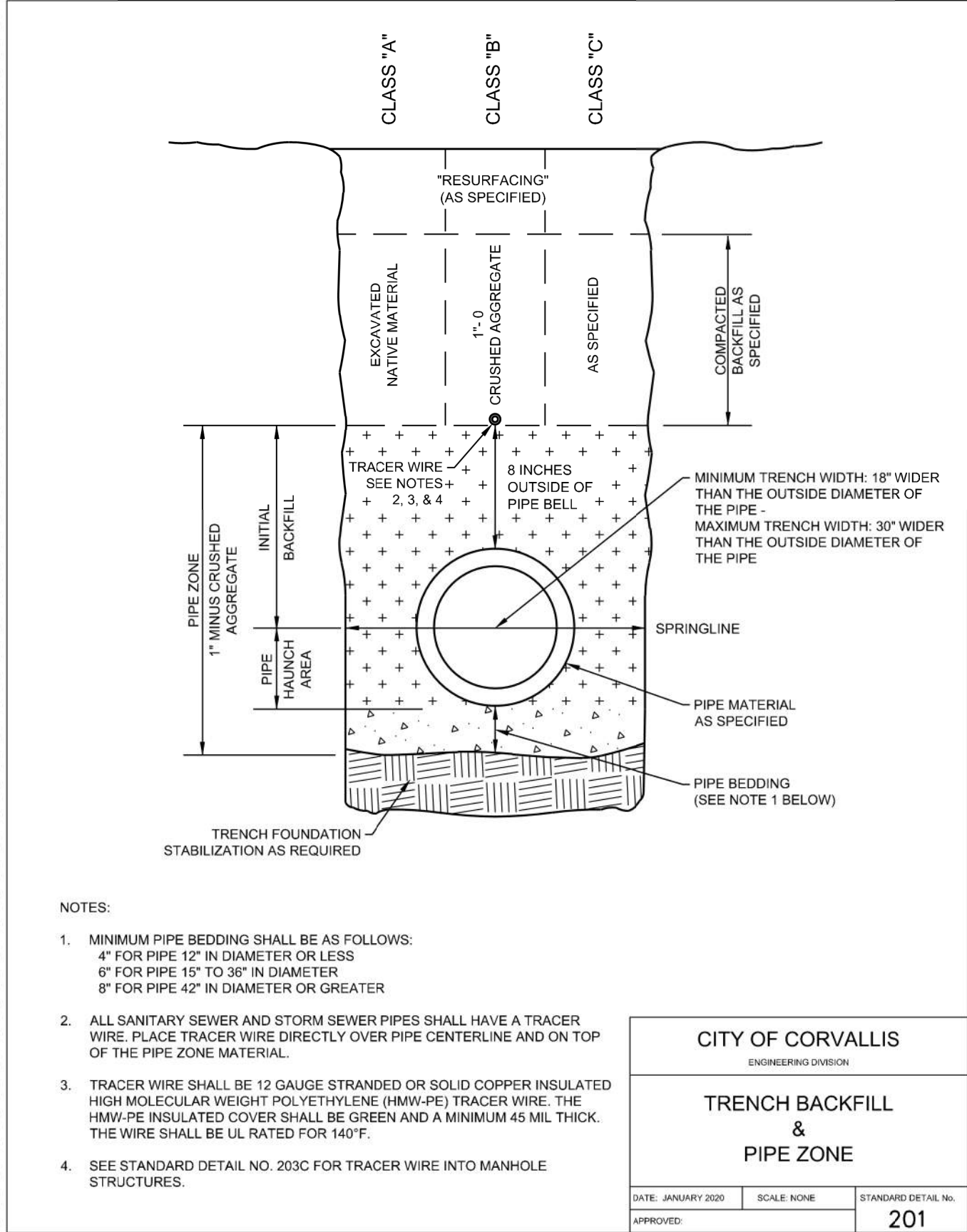
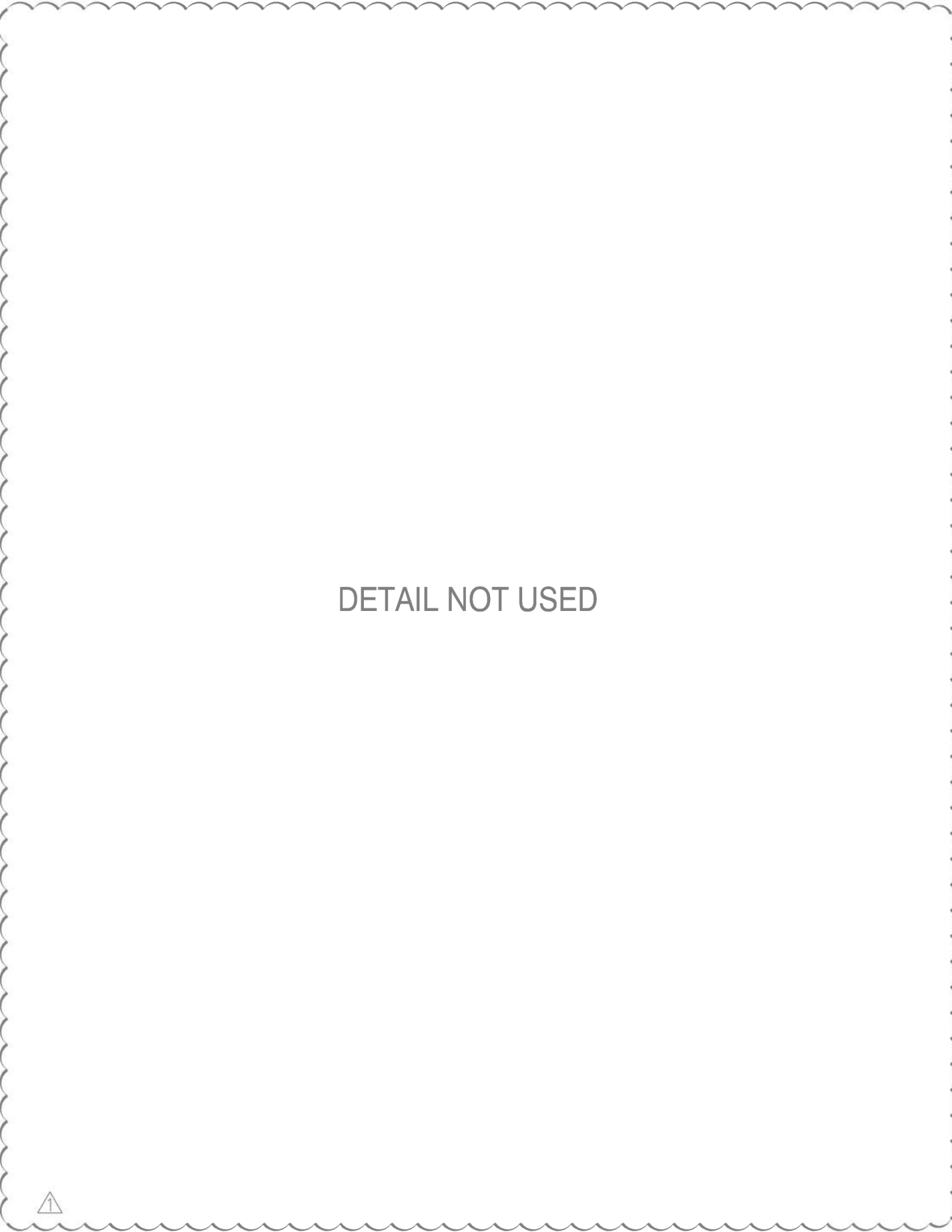
PROJECT:
COLLEGE HILL HIGH SCHOOL -
PUBLIC IMPROVEMENTS
PROJECT LOCATION:
CORVALLIS, OR
CLIENT:
PIVOT ARCHITECTURE

SHEET TITLE:
ACCESSIBLE RAMP AND
COMMERCIAL APPROACH
ENLARGED PLAN

JOB NO. 19415
DRAWN BY: DEVCO
DRAWING:

C315

CITY OF CORVALLIS PIPC NO. PIP-2021-1754



DRAWING STATUS:	DATE:	REVISION:
PRELIMINARY	03/22/22	
SUBMITTED	03/22/22	
BID SET	05/06/22	
PERMIT SET	06/06/22	
CONST. SET	06/06/22	

DRAWING STATUS:	DATE:	REVISION:	DATE:
PRELIMINARY			
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PROJECT:
**COLLEGE HILL HIGH SCHOOL -
PUBLIC IMPROVEMENTS**
PROJECT LOCATION:
CORVALLIS, OR
CLIENT:
PIVOT ARCHITECTURE

SHEET TITLE:
**CITY OF CORVALLIS
STANDARD DETAILS**

JOB NO. 19415
DRAWN BY: DEVCO
DRAWING:

STND2

IMPACT TRAFFIC
REBOUNDING TRAFFIC SAFETY DEVICES

3" TUFF POST
HIGH PERFORMANCE FLEXIBLE DELINEATOR POST
SPEC-TP3 | 06/15/2017

FEATURES

- Yields Fully upon impact
- Anti-Twist Reactive Spring assembly returns unit to upright position when struck.
- Quick, Easy Installation
- Retro-Reflective sheeting
- Durable Flexible Plastic is resistant to ozone, UV light & hydrocarbons.
- Vivid Integral Color
- MUTCD compliant

SPECIFICATIONS

Post Material: Flexible polypropylene plastic
Available Colors: White, yellow or orange
Post Style:
• Long squeeze (14" from top)
• Short squeeze (2" from top)
• Black cap (Black plastic)
• Open top

RECOMMENDED USE

- Ideal when increased visibility and channelization is needed.
- Use for indicating alignment in roadway, atop Tuff Curb® systems, in parking garages and in parking lots.

BASE OPTIONS

Reactive Spring
Type: Fixed, quick release or drivable
Reflective Sheeting
Retro-Reflective Sheeting:
• High intensity sheeting or
• Diamond grade sheeting
Available Colors:
White, yellow, orange, red, green or blue
Included Sheeting:
• Long Squeeze: Single sheet
• 4" x 12" reflective sheet included.
(Double-side sheeting available.)
• Short Squeeze, Black Cap & Open Top: Two 3" bands included.
Custom configurations available.

BASE MOUNT Base
Fixed or Quick Release Model
• Durable HDPE plastic.
• Colors: Black, yellow or white
• 8" x 8" x 1"
• Installs with anchors or epoxy
Drivable Base
For In-Ground Installations
• 12 gauge perforated steel tubing
• 2" x 2" x 18"
Impact Traffic Channelizer Curb
Tuff Curb™ or Tuff Curb XLP™
• Colors: Yellow, white or Green(XLP)

IMPACT RECOVERY SYSTEMS®

PHONE: +1(210) 736-4477
FAX: +1(210) 734-6448
www.ImpactRecovery.com
info@ImpactRecovery.com
Impact Recovery Systems, Inc.
4955 Stout Dr.
San Antonio, TX 78219
United States

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1 YELLOW FLEXIBLE BOLLARD
N.T.S.

CITY OF CORVALLIS
ENGINEERING DIVISION
**CROSSWALK AND
BUTTON PATTERN**

DATE: JANUARY 2020 SCALE: NONE STANDARD DETAIL NO. 112
APPROVED:

NOTES:

- CLEAR SPACE SHALL BE NO GREATER THAN 6 FEET BETWEEN CROSSWALK BARS.
- ALL DIMENSIONS FOR LANE WIDTH ARE ON CENTER.
- ALL LONGITUDINAL MARKINGS LOCATED 30 FEET FROM INTERSECTION SHALL CONSIST OF THERMOPLASTIC MATERIAL.
- ALL PAVEMENT MARKINGS AND LAYOUT SHALL COMPLY WITH CURRENT MUTCD STANDARDS UNLESS SHOWN OTHERWISE.
- ADHERE BUTTONS TO STREET SURFACE USING 4" x 4" SQUARE THERMOPLASTIC MATERIAL MATCHING THE COLOR OF BUTTON.

NOTE:

- Concrete shall attain a strength of 3300 psi in 20 days.
- Top shall be reinforced with 4"x4" - 6"x6" wire mesh.
- All metal parts shall be hot dipped galv. after fabrication.
- If cast in place, walls and base shall be poured monolithically.
- For detail of depressed gutter at curb inlet for wide gutter plate, see standard detail 103A.

CITY OF CORVALLIS
ENGINEERING DIVISION
**STANDARD CURB INLET
& CATCH BASIN DETAIL**

DATE: JANUARY 2020 SCALE: NONE STANDARD DETAIL NO. 209
APPROVED:

CLEANOUT PIPE SIZE SHALL CONFORM TO SEWER MAIN PIPE SIZE UP TO 12" I.D. PIPE - FOR SEWER MAINS OVER 12" I.D. A 12" CLEANOUT SHALL BE USED - A MANUFACTURED PIPE ADAPTOR SHALL BE USED WHEN CHANGING PIPE SIZE

CITY OF CORVALLIS
ENGINEERING DIVISION
STANDARD CLEANOUT

DATE: JANUARY 2020 SCALE: NONE STANDARD DETAIL NO. 206
APPROVED:

CITY OF CORVALLIS
ENGINEERING DIVISION
**VALLEY GUTTER
ACROSS INTERSECTION
&
STANDARD COMMERCIAL
DRIVEWAY APPROACH**

DATE: JANUARY 2020 SCALE: NONE STANDARD DETAIL NO. 109
APPROVED:

NOTES:

- CONSTRUCTION CURBING MONOLITHIC WITH FILLET AND INSTALL SIDEWALK RAMPS AS DESIGNATED ON THE PLANS.
- PCC SHALL ATTAIN A 28-DAY MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI.
- ALL SIDEWALK CURVES WILL HAVE 8' MIN RADI.
- SAW CUT EXISTING PAVEMENT A MINIMUM OF 24" FROM FACE OF NEW CURB OR GUTTER. SAW CUTS SHALL EXTEND TO NEAR SIDE OF BIKE LANE STRIPE WHERE BIKE LANE IS PRESENT.

CITY OF CORVALLIS
ENGINEERING DIVISION
VALLEY GUTTER

DATE: JANUARY 2020 SCALE: NONE STANDARD DETAIL NO. 104
APPROVED:

NOTES:

- BAR REINFORCEMENT REQUIRED IN VALLEY GUTTERS ONLY WHEN USED AS PART OF COMMERCIAL DRIVEWAYS, INTERSECTIONS, OR WHEN HEAVY TRUCK TRAFFIC IS EXPECTED.
- CONCRETE SHALL ATTAIN A 28 DAY MINIMUM COMPRESSIVE STRENGTH OF 4000 P.S.I.
- THE TOTAL WIDTH OF THE NON-SYMMETRICAL "V" GUTTER MAY BE REDUCED TO 30" WHEN CONSTRUCTED WITH A CURB-EXTRUSION MACHINE.
- CONTRACTION JOINTS SHALL BE PLACED AT APPROXIMATELY 15 FT INTERVALS AND SHALL EXTEND A MINIMUM OF 50% THROUGH THE GUTTER PAN THICKNESS.